



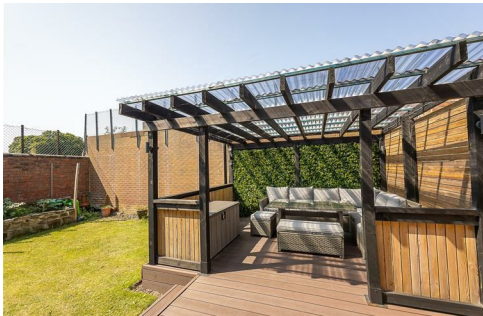
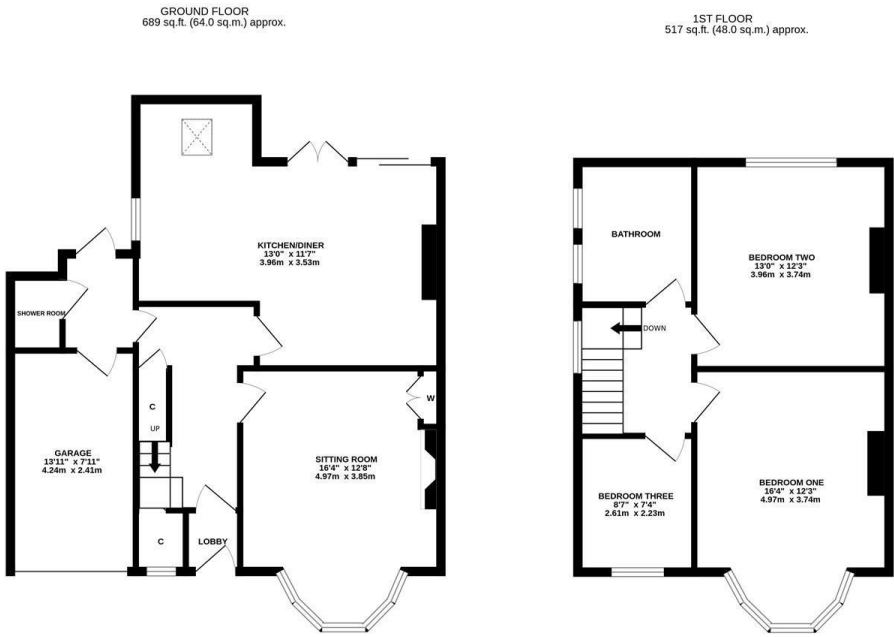


Well presented throughout, this 1930's semi-detached home is ideally located on Rokeby Drive, Kenton. Rokeby Drive, close to outstanding local schools, is perfectly placed off Kenton Lane and provides ideal family accommodation with immediate access to the A1 western bypass and close to the cafés, restaurants and shops of Gosforth High Street as well as excellent transport links into the city and beyond.

The accommodation briefly comprises: entrance lobby through to entrance hall with stairs to first floor, half landing storage and under-stairs storage; sitting room with walk in bay and feature wood burning stove; kitchen diner with spot lighting, sky light and both French and sliding door access to the rear garden, kitchen area with a range of fitted units and work surfaces; shower room with three piece suite; integral garage providing storage/parking. The first floor landing gives access to; three bedrooms, bedrooms one and two both comfortable doubles and bedroom one also with walk in bay; family bathroom complete with four piece suite including a free standing bath, step in shower and spot lighting.

Externally, a front garden laid mainly to gravel with a paved driveway providing off-street parking, leading to the garage, accessible by an up and over door and to the rear, an enclosed garden laid mainly to lawn with a raised decking together with a covered seating area, separate raised planting and all enclosed with both fence and wall boundaries.

Well Presented Semi-Detached Family Home | 1,206 Sq ft (112.0m2) | Sitting Room | Kitchen Diner | Ground Floor Shower Room. | Family Bathroom | Integral Garage | Front & Rear Garden | GCH & DG | Freehold | Council Tax Band C | EPC: D



**Offers Over £325,000**

**IMPORTANT NOTE:** These particulars and the descriptions and measurements herein do not constitute representation and whilst every effort has been made to ensure accuracy, this cannot be guaranteed.

